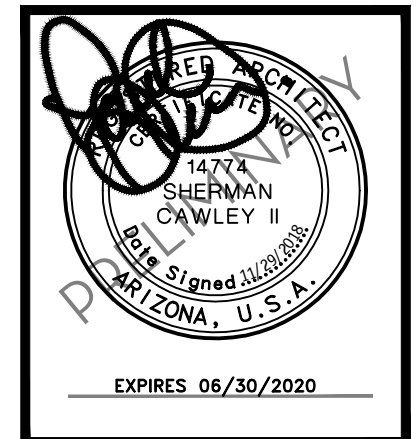


CAWLEY ARCHITECTS

730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P 602.393.5060

CawleyArchitects.com



SUPERSTAR CAR WASH

7252
S. ELLSWORTH RD
MESA, ARIZONA
85212

DATE
PRELIMINARY SITE PLAN
09-25-2018
PRE-APP SUBMITTAL
10-08-2018
DR SUBMITTAL
11-29-2018

NOTICE OF ALTERNATE BILLING CYCLE:

This contract allows the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this written description upon request.

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This site plan has been prepared without the benefit of a survey. Discrepancies may not be accurate or fully reflect all dimensions, data, etc. which may affect the design and usability of this site. All design shown here is strictly conceptual.

Project: SCW-MPE
A7.1

GENERAL NOTES

1. SEE STRUCTURAL FOR LINTEL INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CMU, ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONSITE IN SIZES OF NO LESS THAN 12' X 12'.

MATERIAL KEY

MATERIAL	DESCRIPTION
SV	STONE VENEER- TRENDSTONE GROUNDFACE- COLOR: 'LINCOLN'
RG	SMOOTH FACE RUNNING BOND REGULAR STRUCK 8 X 8 X 16 CMU
SS	SMOOTH FACE SINGLE-SCORE 8 X 8 X 16 CMU
SF	SPLIT FACE SINGLE-SCORE 8 X 8 X 16 CMU
HM	HOLLOW METAL DOORS & FRAMES PAINTED
MF	METAL PANEL FRAME, PAINTED
MC	METAL CANOPY, PAINTED
CF	CANOPY FABRIC
MI	METAL INSERTS
CT	CANOPY TUBE - ARCHES
MP	METAL PANELS - MONICHOLES - ROUND PERFORATED, 16 GAUGE, STAINLESS STEEL, 3/4" ROUND ON 1" STAGGERED, 48000 WIDTH X 120000 LENGTH, MILL FINISH, 5% OPEN AREA, FINISHED EDGE STOCK * XXX

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	DFI
GLAZING	GL

INSULATED GLAZING SYSTEM SPECIFICATION
 OLDCASTLE - 1" INSULATED GLAZING SYSTEM
 U-FACTOR: 0.23
 SOLAR HEAT GAIN COEFFICIENT (SHGC) : 0.18
 OUTBOARD: 1/4" PFG SOLARCOOL BLUE (SRF #2)
 AIRSPACE: 1/2" (AIR FILL)
 INBOARD: 1/4" PFG SOLARBAN 60 ON CLEAR (SRF #3)

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

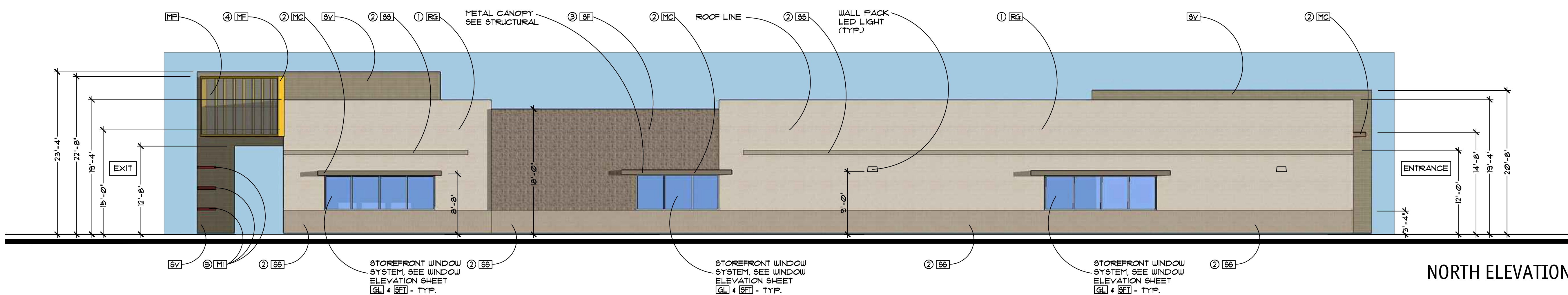
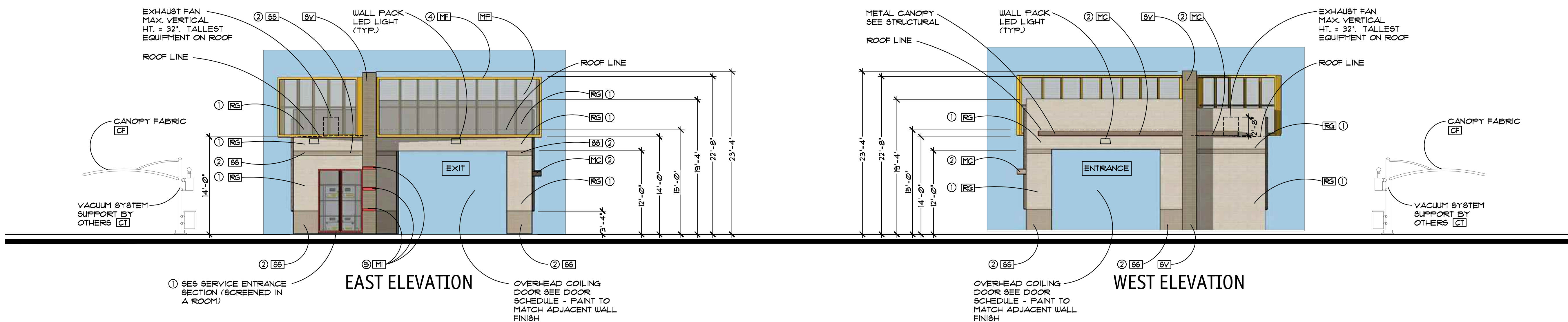
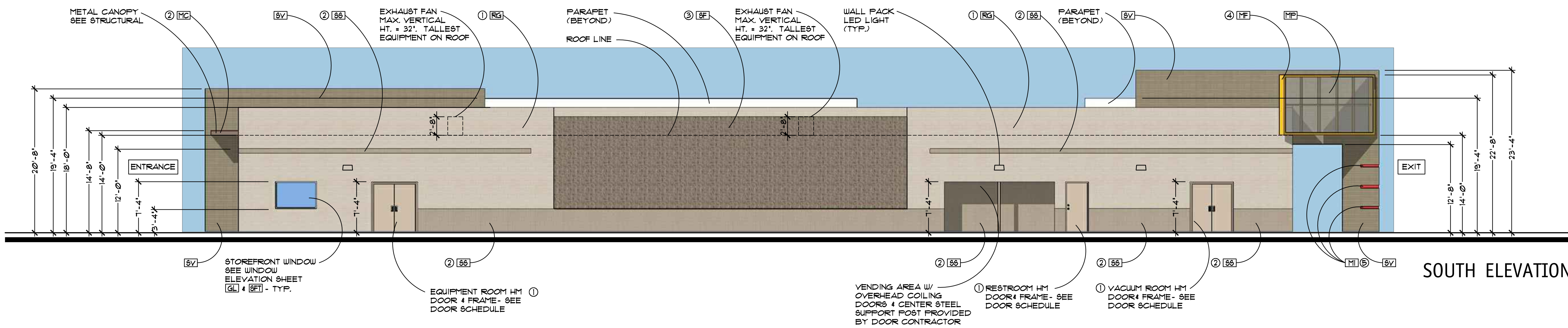
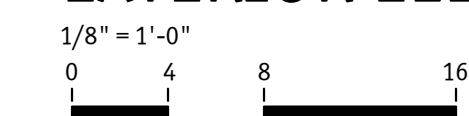
COLOR KEY

KEY	MANUF. - SHERWIN WILLIAMS COLOR NAME:
1	'ACCESSIBLE BEIGE' SW7036
2	'TONY TAUPE' SW7038
3	'VIRTUAL TAUPE' SW7039
KEY	MANUF. - DUNN EDWARDS COLOR NAME:
4	'SUNFLOWER' DE5391
5	'HOT JAZZ' DE4101

MATERIAL	KEY
BOLLARDS	4
SES	1
TRANSFORMER	1
CF CANOPY-FABRIC	TBD-COMMERCIAL 95 'CHERRY RED'
CT VACUUM - FOS CANOPY ARCHES	POWDER PAINT- VENDOR PROVIDED BY VENDOR

1. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
3. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
4. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.

EXTERIOR ELEVATIONS





Superstar Car Wash - Mesa - Ellsworth

This artist rendering is for conceptual design only and should not be referred to as a construction document.

Mesa, Arizona

2019 . 02 . 05





Superstar Car Wash - Mesa - Ellsworth

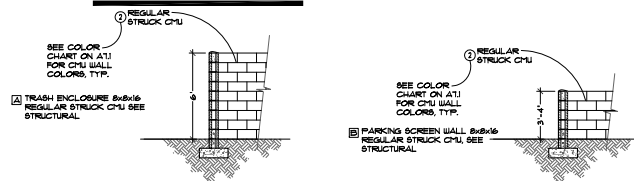
This artist rendering is for conceptual design only and should not be referred to as a construction document.

Mesa, Arizona

2019 . 02 . 05



SITE SCREEN WALL SCHEDULE



SCREEN WALL NOTES

1. PARKING SCREEN WALLS ARE TO BE A MINIMUM OF THREE FEET AND A MAXIMUM OF FOUR FEET ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER.
2. PROVIDE STEPPED FOOTINGS PER THE STRUCTURAL DRAWINGS AT SCREEN WALLS IN RETENTION AREAS AS REQUIRED BY THE CIVIL GRADING AND DRAINAGE PLANS.
3. GROUT SOLID ALL CELLS BELOW GRADE.
4. SEE STRUCTURAL DRAWINGS, S-C-1 FOR ALL FOOTING AND REINFORCING INFORMATION.
5. COORDINATE OPENINGS AND LEAPS IN BOTTOM OF WALLS WITH CIVIL DRAWINGS.

SITE DATA

PROJECT:	SUPER STAR CAR WASH
ADDRESS:	7252 S. ELLSWORTH ROAD MESA, ARIZONA 85212
DEVELOPER:	SUPERSTAR CAR WASH 14425 W. MCGRAWELL RD SUITE F4108 GOODYEAR, ARIZONA 85395 PHONE: 602-421-6717 CONTACT: REZA AMIRREZAYAN
SCOPE:	A NEW 5,258 S.F. SUPERSTAR EXPRESS CAR WASH PROVIDING PROFESSIONAL AND AUTOMATED SERVICES
LEGAL DESCRIPTION:	SEE CIVIL
ASSESSOR PARCEL NO.:	304-62-78A
GENERAL PLAN:	
ZONING:	LI
SITE AREA:	1+56,700 S.F. +1.130 ACRES
BUILDING AREA:	5,258 S.F. GROSS
STORIES:	SINGLE STORY
LOT COVERAGE:	9.27%
LANDSCAPE AREA:	XXXX S.F.
LANDSCAPE COVERAGE:	XXX%
OCCUPANCY:	B
CONSTRUCTION TYPE:	M4
ALLOWABLE AREA:	36,000 S.F. (SINGLE STORY)
CLEAR HEIGHT:	-
STRUCTURAL DEPTH:	-
SLOPE DEPTH:	1/4" PER 1'-0" MIN.
SCREENING HEIGHT:	5'0" MAX.
BUILDING HEIGHT:	23'-4"

PARKING CALCULATIONS

BUILDING AREA CALCULATIONS			
OCCUPANCY	TOTALS		
OFFICE / VENDING / RESTROOM	366 S.F.		
EQUIPMENT AREA	1,100 S.F.		
WASH BAY	3,481 S.F.		
VACUUM	261 S.F.		
TOTAL:	5,208 S.F.		
REQUIRED PARKING CALCULATIONS			
OCCUPANCY	S.F.	FACTOR	TOTAL
B-CAR WASH	5,208	2 SPACES MIN.	2
TOTAL:			2
PARKING PROVIDED			
TOTAL REGULAR SPACES	38		
TOTAL ACCESSIBLE SPACES	2		
TOTAL COVERED SPACES (INCLUDING ACCESSIBLE SPACES)	38		
TOTAL SPACES ON SITE	38		

LEGEND

- PROPERTY LINE
- EASEMENT / SETBACK LINE
- CAR OVERHANG, MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
- 6" CURB
- SITE WALL
- BALT FINISH CONCRETE SIDEWALK
- PAINT STRIPES ON PAVEMENT
- NEW FIRE HYDRANT
- ACCESSIBLE ROUTE / PATH OF TRAVEL



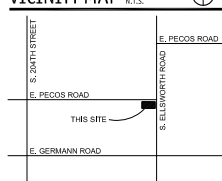
SUPERSTAR CAR WASH

7252 S. ELLSWORTH RD
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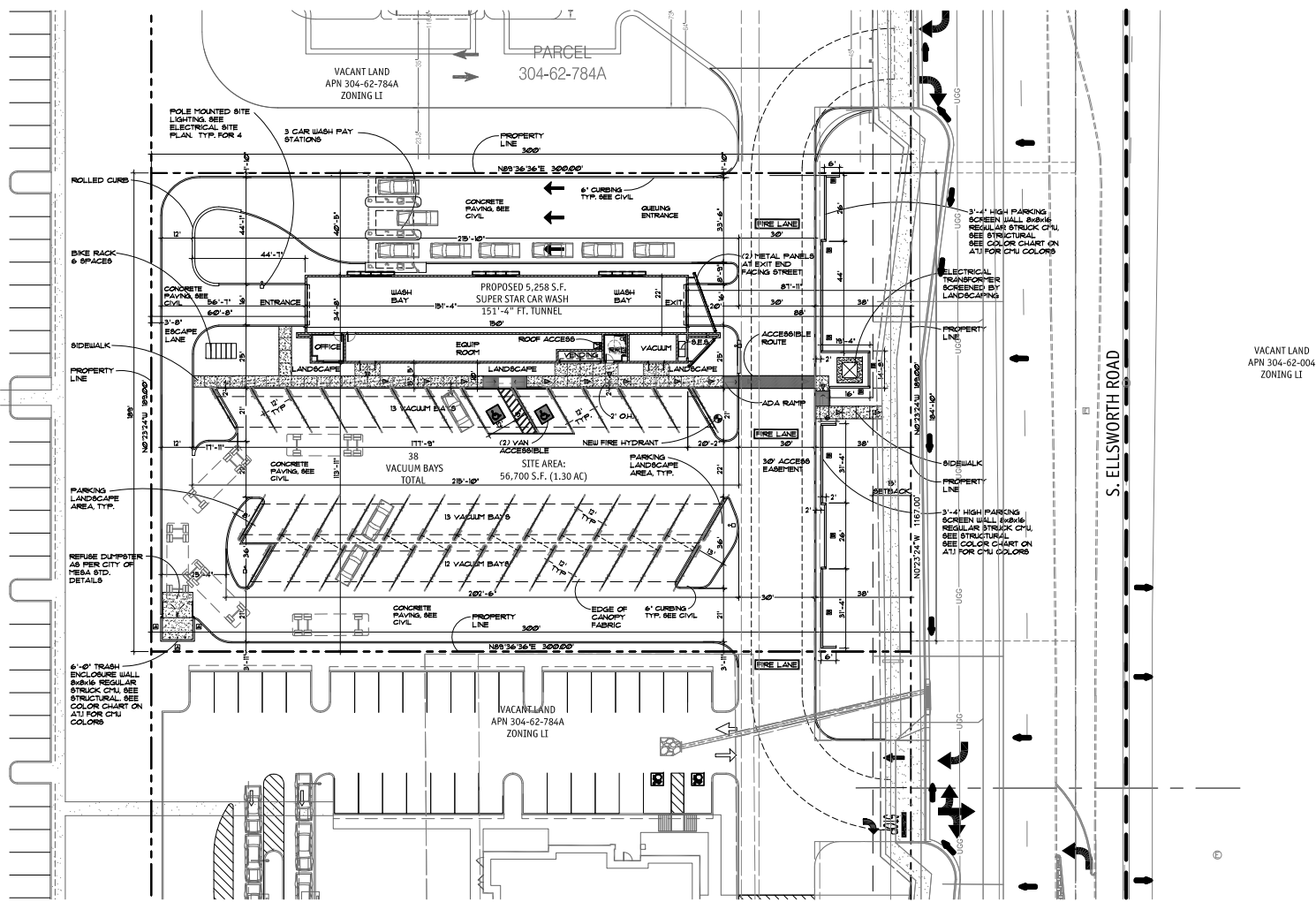
DATE
PRELIMINARY SITE PLAN
09-29-2018
PRE-APP SUBMITTAL
10-09-2018
DR SUBMITTAL
11-29-2018

NOTICE OF ALTERNATE BIDDING CYCLE:
The contractor shall be bound to adhere to the bidding cycle for the project. Any change in the bidding cycle shall be subject to the approval of the City of Mesa. The contractor shall be responsible for providing the necessary information to the City of Mesa to ensure compliance with the bidding cycle. The contractor shall be responsible for providing the necessary information to the City of Mesa to ensure compliance with the bidding cycle. The contractor shall be responsible for providing the necessary information to the City of Mesa to ensure compliance with the bidding cycle.

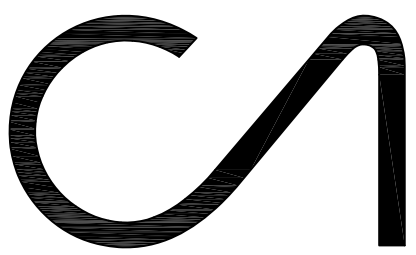
VICINITY MAP N.T.S.



SITE PLAN



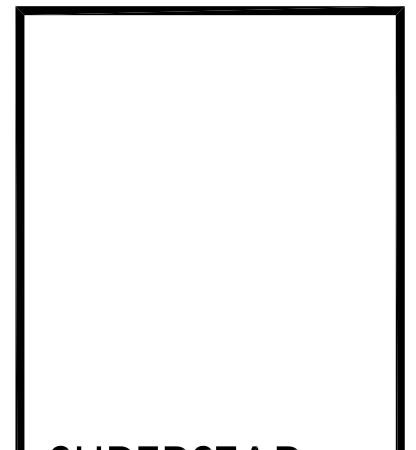
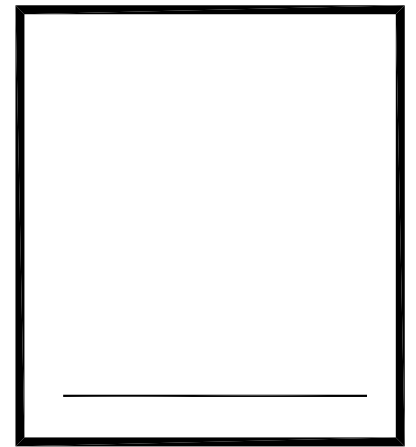
Project: SCW-WMPE
A.1.1



CAWLEY ARCHITECTS

730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P 602.393.5060

CawleyArchitects.com



SUPERSTAR CAR WASH

9063 E. PECOS RD
MESA, ARIZONA
85212

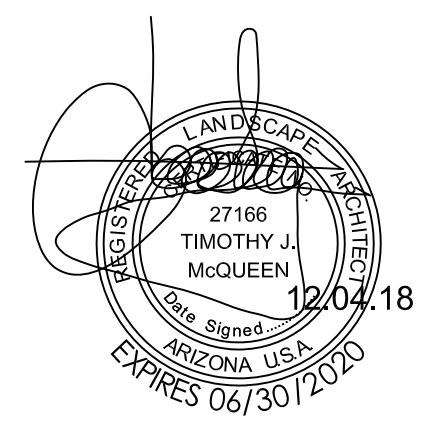
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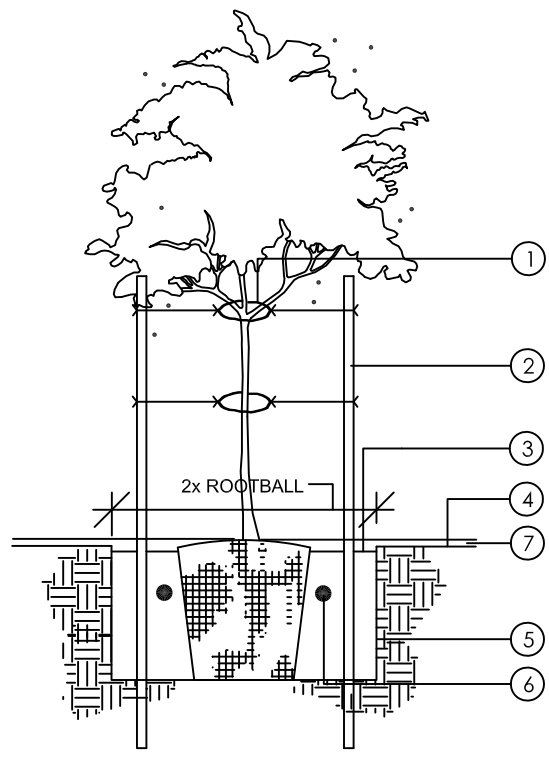
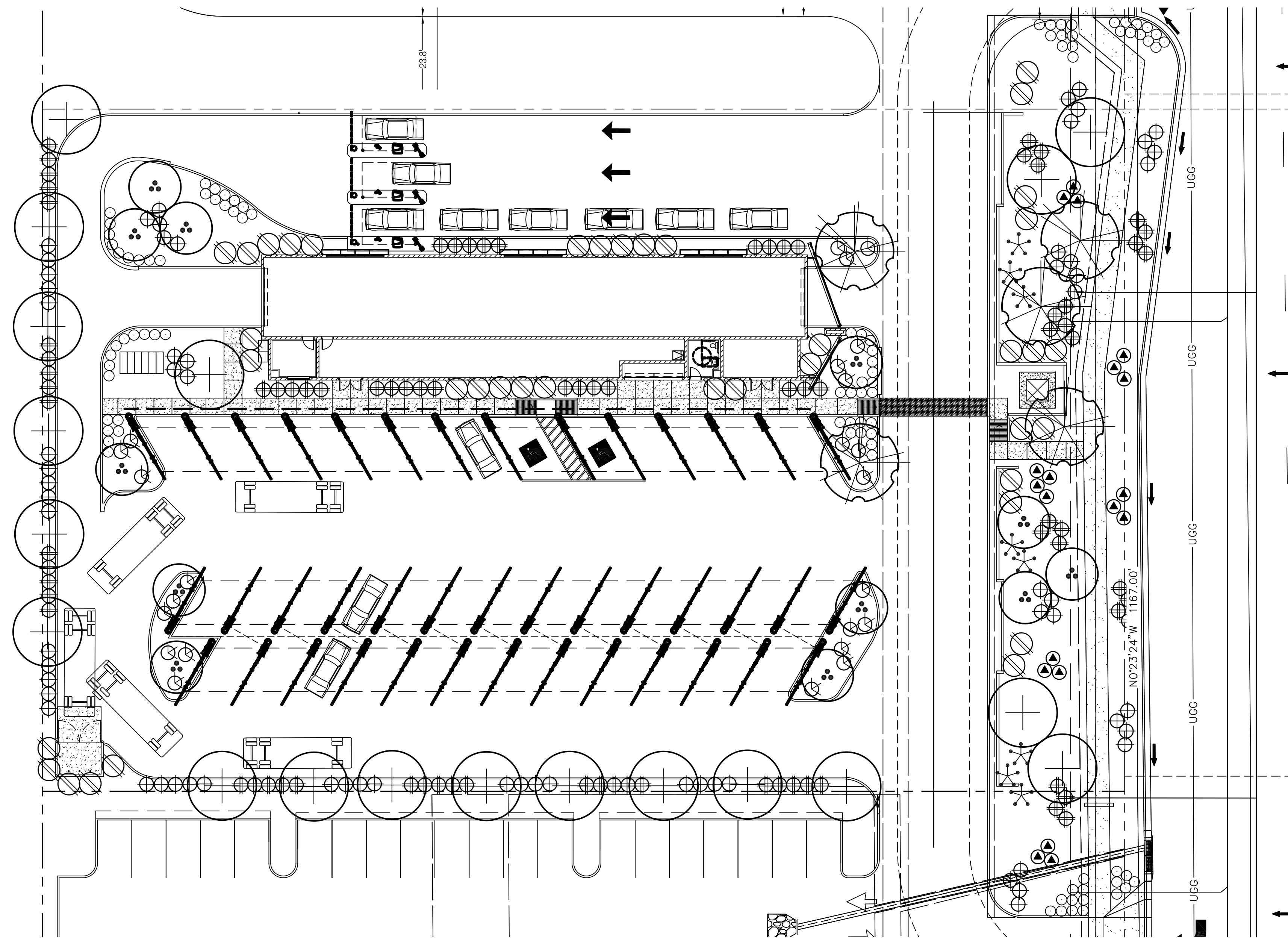
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LANDSCAPE LEGEND

- QUERCUS VIRGINIANA (5)
LIVE OAK
36" BOX
- ACACIA SALICINA (19)
WILLOW ACACIA
24" BOX
- SOPHORA SECUNDIFLORA (12)
TEXAS MOUNTAIN LAUREL
24" BOX
- CAESALPINIA MEXICANA (8)
MEXICAN BIRD OF PARADISE
5 GALLON
- TECOMA 'ORANGE JUBILEE' (39)
ORANGE JUBILEE
5 GALLON
- HESPERALOE PARVIFLORA (66)
RED YUCCA
5 GALLON
- DASYLIRION WHEELERII (86)
DESERT SPOON
5 GALLON
- RUELLIA PENINSULARIS (24)
BAJA RUELLIA
5 GALLON
- AGAVE GEMNIFLORA (19)
TWIN FLOWERED AGAVE
5 GALLON
- LANTANA MONTEVIDENSIS (85)
'GOLD MOUND'
1 GALLON

1/2" SCREENED EXPRESS 'PAINTED DESERT'
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



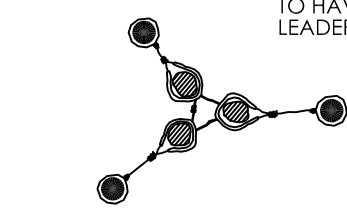
1. 1/2" RUBBER HOSE WITH #10 WIRE
 2. TWO 2" ROUND BY 10' LONG GREEN TREE STAKES BURY 3' BELOW GRADE
 3. 4" BASIN
 4. GRADE (PRIOR TO GRANITE)
 5. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
 6. AGRIFORM TABLETS
 7. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)
- BACKFILL PLANT PIT WITH SOIL MIX PER PHX MAG SUPPLEMENT.

DOUBLE STAKING DETAIL

NOT TO SCALE



NOTE:
MULTI-TRUNKED TREES
TO HAVE ALL MAJOR
LEADERS STAKED

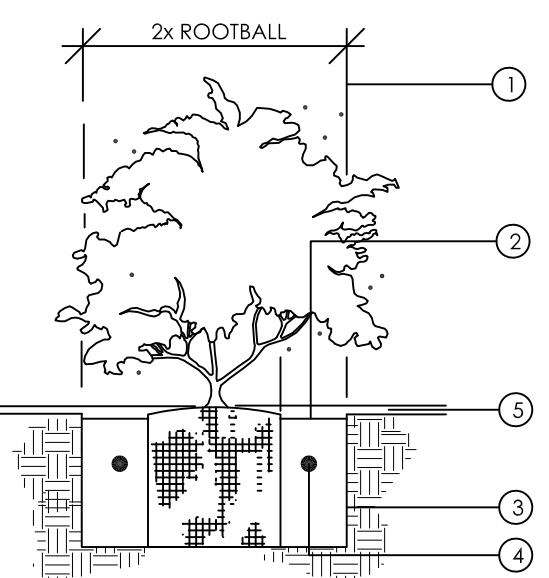


- MULTI-TRUNK
- DOUBLE-TRUNK
- SINGLE-TRUNK

1. NOTCH TUBING LOOP WIRE THROUGH EXPOSED WIRE
2. #10 WIRE RUBBER COATED
3. 1/2" RUBBER HOSE

TREE GUYING DETAIL

NOT TO SCALE



1. MINIMUM DIMENSION FOR 5 GAL PLANTS
 2. 1" BASIN
 3. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
 4. AGRIFORM TABLETS SEE SPECS. FOR RATIO
 5. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)
- BACKFILL PLANT PIT WITH SOIL MIX PER PHX MAG SUPPLEMENT.

SHRUB PLANTING DETAIL

NOT TO SCALE



T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P. (602) 265-0320

EMAIL: timmcqueen@tjmla.net



Project: SCW-MPE

La.01

T.J. McQUEEN & ASSOCIATES, INC. LANDSCAPE ARCHITECTURE (TJMLA) EXPRESSLY RESERVES ITS COMMON LAW, COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION & CONSENT FROM TJMLA.

To: City of Mesa
Development Services

From: Paul Devers
Cawley Architects, Inc.

Subject: Design Review and Planning and
Zoning for SuperStar Car Wash
PRS18-00808
7252 S Ellsworth

Date: December 12, 2018

NARRATIVE

This application is made to identify the development requirements for the new +/5,208 square foot 'SuperStar Express Car Wash' located south of the southwest corner of Pecos Road and Ellsworth Road. An express wash is basically a self service operation with automated pay stations. Customers have the option to ride in the vehicle during the wash process. Exterior drying and interior vacuuming is typically done by the customer. During peak times the facility can be operated with 2-3 people. The operational hours will be 7:30 am to 7:00 pm.

Zoning, Use and Conformance:

This site is zoned LI (Light Industrial) with no proposed zoning change. According to City of Mesa Zoning Ordinance Table 11-7-2, Automobile / Vehicle Washing is classified as a permitted use in this zoning, no special use permit will be required.

The site is located within the Phoenix-Mesa Gateway Airport Airfield Overlay. Based on Chapter 19, Section 11-19-2, the site is located within the sub-area Airport Overflight Area One (AOA 1).

The City of Mesa Zoning Ordinance requires specific land use regulations for Automobile/Vehicle Automatic Washing per MZO Section 11-31-7. This development is in conformance with the following standards.

- Location: The car wash facility has at least one frontage on an arterial street; S. Ellsworth Road
- Setbacks: There are no residential properties adjacent to the site therefore the interior building setbacks for residential do not apply.

- Queuing: The site has been designed with 3 self-service pay stations with queuing for 5 vehicles per station for a total of 15 vehicles. The queuing width of the drive is 33' which equals 11' width per queuing aisle.
- Landscaping: The minimum 10% landscaping has been provided
- Litter: At each vacuum bay there is a trash receptacle.
- Noise: Sound attenuation measures will be incorporated into the building design and equipment. The building is constructed with concrete block and the exit from the tunnel will have a restricted opening size to limit the noise from the tunnel. The vacuum turbine will be in an enclosed area.
- Screening: Traffic cueing will be directed away from public streets. The entire frontage along Ellsworth will have a 40" high masonry screen wall to match the building design.

Site Description

The site is approximately 56,700 S.F. (+/-1.30 acres) The lot is a part of the overall +/- 3,124,227 S.F. lot (APN #304-62-784A) and a (MLD) Minor Land Division is currently being processed with a designation of Lot 2. The project will provide complete site and building improvements, and will be parceled into the lot size as noted above.

Vehicular Access and Parking:

The project will utilize shared drives with shared cross access easements with the adjoining properties to the north and south. The project meets the required setbacks for coverage, parking and access.

The number of parking spaces are provided to meet both ordinance and operational requirements for this use. Fire Truck and Refuse maneuvering and access are provided per City of Mesa standards. A request to allow a single refuse enclosure is included in this Design Review submittal.

Landscape, R.O.W. and Offsite Improvements, Easements:

The site is designed to utilize the existing shared drive access points and circulation within the overall development. All R.O.W. dedications and offsite improvements are being provided and constructed by the Master Developer with no additional dedications proposed. The allowable building height per ordinance is 40'-0" and this building will comply.

Setbacks per Table 11-7-3A: Developments are proposed as follows;

- Front and Street Side setback – 15'-0" required | 75'-0" proposed
- Interior Side and Rear setback – 0 (none) required for a building setback

Architecture and Building Design:

The Master Developer has prepared Design Guidelines titled; "Mesa Gateway Logistics Center" which describe the requirements for Site Development Standards, Architecture and Landscape Architecture. The projects goal is to promote clean and contemporary forms, materials and design without looking like a traditional retail center in feel or appearance.

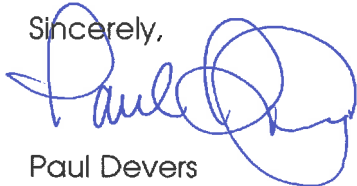
The SuperStar design model has been developed as a contemporary building that can be easily adapted to specific design requirements by interchanging building materials and colors. The building forms are articulated with varying parapet heights with material and color changes to break up the longer facades. The tunnel exit, which faces the street, is pronounced with a masonry fin that is extruded from the building form and supports the metal perforated signage panels. The perforated metal panels add visual interest and create a relative transparent effect during the day by shade and shadow and at night with backlighting. The additional height establishes the hierarchy of the building mass.

The exterior elevations will be comprised of a variety of materials and colors that have been selected from the Design Guidelines and include; glazing, concrete masonry units both smooth and textured, metal sunscreens and fabric covered canopies at the vacuum bays. Additional building articulation and pedestrian scale is provided through varied horizontal and vertical building elements.

The building will have a flat roof with roof top mechanical units that will be fully screened by parapet walls of varying height that will complement the building design.

As always, we look forward to a successful development that will bring another valued project to both the City and the surrounding neighborhood as a whole.

Sincerely,



Paul Devers
Cawley Architects, Inc.